



Design Guidelines



Introduction

Palliser Downs is a rural lifestyle development in the heart the Wainui region, approximately 45m north of Auckland. It is part of a rolling landscape with a diverse mix of native bush, rural lifestyle properties and open pasture. Mature trees, large areas of planted indigenous vegetation and a rolling, open landform contributes to create a landscape which offers a high residential and rural amenity.

The following guidelines seek to guide residential development so that it is complimentary to the existing environment, the surrounding landscape and protects residential and visual amenity of all lots within the Palliser Downs development.

Vision

The Palliser Downs development will become a rural living landscape with a distinct and attractive character which showcases the naturalness and rural values of the site. Building platforms are sited a considerable distance from each other so the openness of the landscape and its rural values are retained. Residential curtilage areas will contain the spread of domestic elements such as ornamental gardens, children’s playgrounds. The result will be a cohesive rural residential development with a quality and distinct architectural style which builds on the landscape’s values of openness, naturalness and ruralness.

Purpose of the Design Guidelines

These guidelines will set the tone and character of the built form and designed landscape. The intention is to prescribe patterns, forms, materials and colours for future built environments so that it is sympathetic to the site’s character and appears consistent across the land. These guidelines will prescribe landscape treatments that will set the tone in terms of planting, fencing and land use so that the amenity of all lots and the wider environment is protected.

Approval Process

Implementation Standards

The Palliser Downs Design Review Board has the responsibility of assessing each project's adherence to the following design guidelines and the degree to which a project meets the intended amenity of Palliser Downs and the surrounding landscape. The PDDRB has the ability to use discretion with regards to any proposal. Before undergoing any construction of any building or landscaping, each purchaser is required to submit:

- ◆ At the initial stages of development, a preliminary architecture and landscape concept to ensure the project is appropriate and not likely to encounter opposition from the Board at the more developed stages.
- ◆ A developed site plan which includes the site layout, roading materials, fencing and any proposed planting or structures outside of a curtilage area.
- ◆ A landscape plan for the designed landscape within a residential curtilage.
- ◆ Architecture plans including floor plans and elevations detailing the form, scale, material and colours of a proposed building.

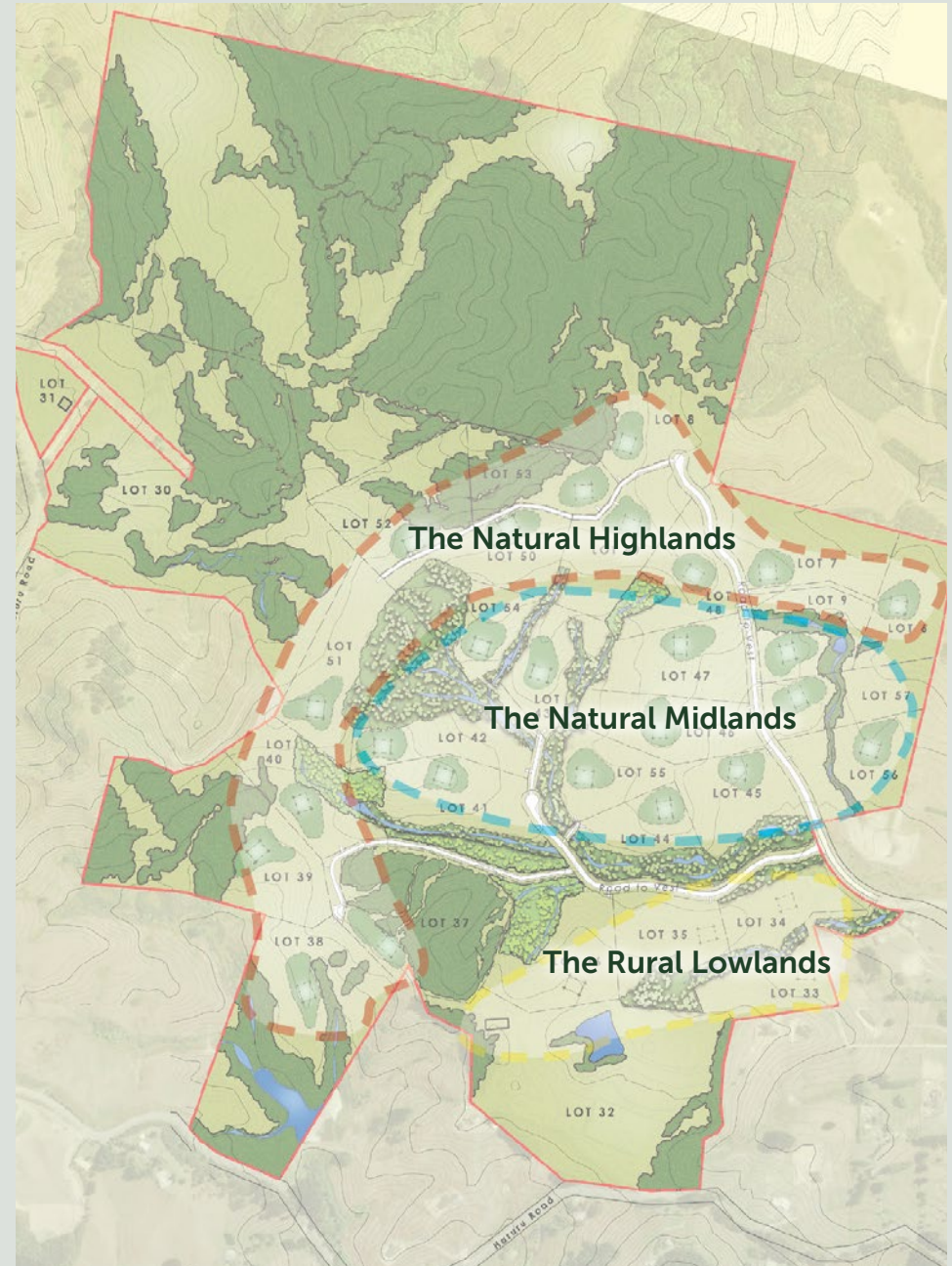
Landscape Design Guidelines

The landscape of Palliser Downs is a mix of rural, open and natural characters. Existing plantings such as shelter belts, avenue trees and feature trees exist on the lower portions of the site, the 'rural lowlands'. The more elevated 'natural midlands' are significantly more open with swathes of maturing indigenous plantings which provides a strong natural character. Similarly the 'natural highlands' are open and natural in character. The more elevated sites which are generally located on spurs and ridges significantly contribute to the amenity and character of the wider landscape.

Residential landscapes must be complementary to and supportive of the land's existing characters. To that end the following landscape design controls for the Palliser Downs site will:

- ◆ Encourage the regeneration of native ecology, which in turn will support the health of the air, land and water,
- ◆ Discourage the fragmentation of the landscape,
- ◆ Retain the sense of openness,
- ◆ Encourage the creation of habitat for native birds and invertebrates,
- ◆ Provide for cultural plantings of rural character trees, shelter belts and avenue trees which will not impeded on the openness of the landscape,
- ◆ Control the spread of domestic landscape patterns and elements,
- ◆ Control other landscape elements such as lighting, fencing, retaining walls and other structures and services so as to not affect the adjoining properties or wider landscape.

NOTE: The Rural Lowlands are not subject to a residential curtilage. However it is important that development within these site's is complementary to the open, rural and natural values of the site. To that end, the following controls will extend to the lots within the Rural Lowlands except where indicated by a #.



Siting Your Home

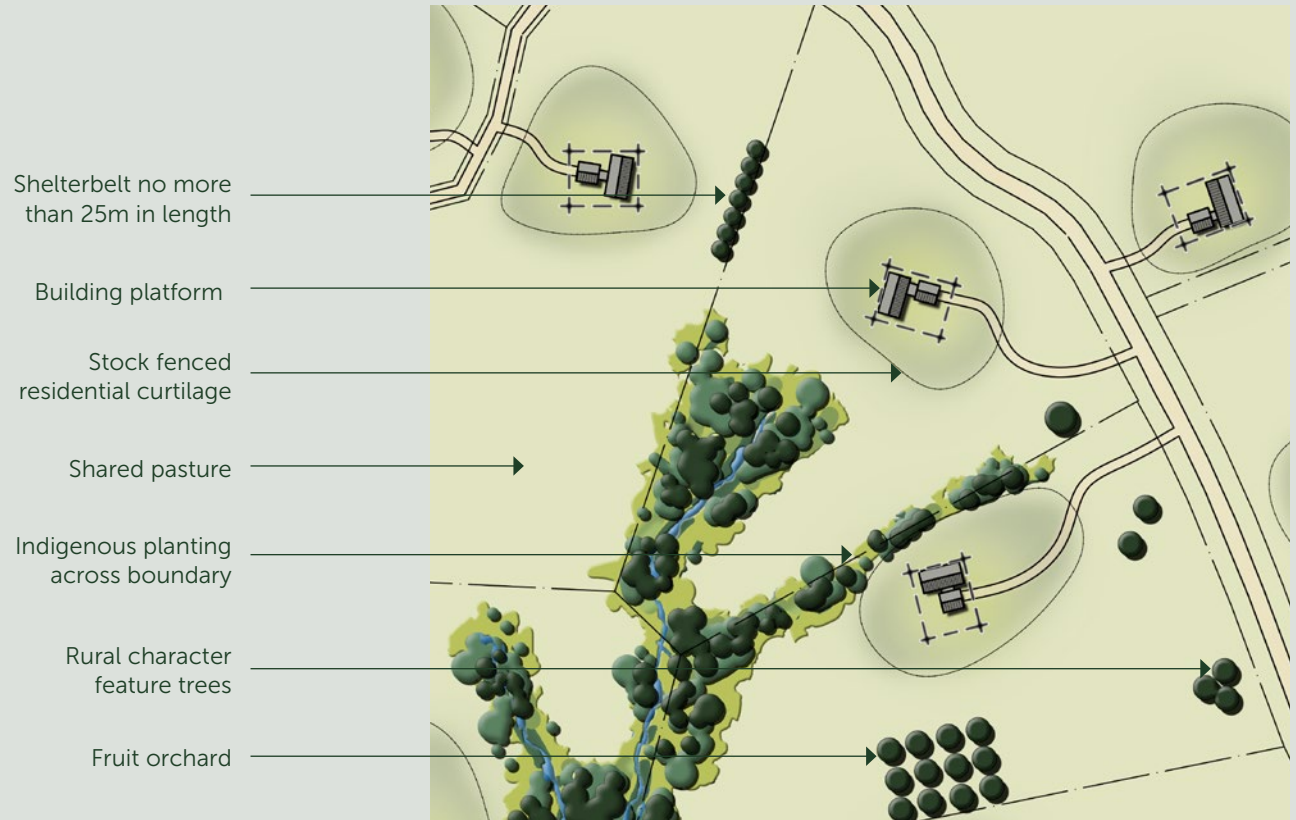
Site Layout

All buildings and site features should be located to give consideration to the environmental conditions, views and privacy of adjoining neighbours.

All residual land not being used for residential amenity or located outside of the residential curtilage should be managed by an appropriate method. This can take the form of:

- ♦ mown pasture,
- ♦ grazed pasture,
- ♦ indigenous planting,
- ♦ cropping,
- ♦ orchards,
- ♦ vineyards or
- ♦ other regenerative or agricultural use.

It is encouraged for adjoining land owners to seek a joint and complimentary use of their residual land. This could take the form of contiguous indigenous planting across boundaries or linked areas of open pasture managed in a shared agreement.



Site coverage

The maximum site coverage off all buildings, including accessory buildings on each lot should be no more than 75% of the building platforms.

Residential curtilage

All outdoor structures and garden elements associated with residential use should be confined to the residential curtilage areas. Such elements include swimming pools, outdoor furniture, lawns, etc. #.

Earthworks and retaining

Building platforms should be leveled prior to purchasers erecting a home. Therefore limited earthworks should be required for the construction of a home.

If earthworks are desirable to create privacy, bury water tanks or for other purposes which enhance the overall amenity of the site, the finished grade of all slopes should be no more than 33.3 percent and should be either grassed or planted. If retaining walls are required for any amenity purpose, the finished surface of the wall should be a dark colour. Approved finishes for retaining walls include:

- ♦ natural stone,
- ♦ dark stained timber,
- ♦ dark concrete.



Landscaping

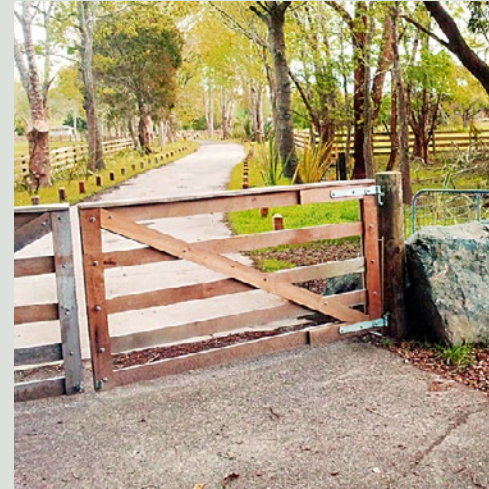
Driveways and parking

Preferred driveway materials are gravels, exposed aggregate, a dark coloured concrete or any permeable surface material such as interlocking pavers or grid reinforced grass.

All vehicle parking should be restricted to areas within the residential curtilage area.

It is encouraged to provide landscape screening of exterior parking areas.

No more than two vehicles should be parked semi-permanently on the exterior of any site. All other vehicles must be housed.



Boundary treatments, fencing and gates

All exterior lighting not fixed to a residential or accessory building should be no more than 1.2m in height and directed downward.

All exterior lighting should be directed downward and should not create any light spill onto adjoining properties.

All fencing outside of the curtilage area should be typical rural fences being post and rail and post and wire fences. These fences should be constructed by a professional contractor.

Within the curtilage area screening methods may be used providing they are complementary to the landscape and architectural materials and are under 1.8m in height. Close boarded timber fencing is not allowed.

Planting general

No shelterbelt should extend for more than 25m in length and no grove or group of rural character trees should cover an area of more than 1000m². The purpose of this control is to ensure a high level of open character is maintained.

All plantings should be designed and located as to not impeded on the visual amenity or solar gain of any neighbouring property except where permission from the adjoining landowner is provided.

It is encouraged to seek professional assistance in the selection and implementation of any indigenous planting to ensure their survival, especially over the first few years of establishment.

All plantings should be protected from grazing animals and pests.

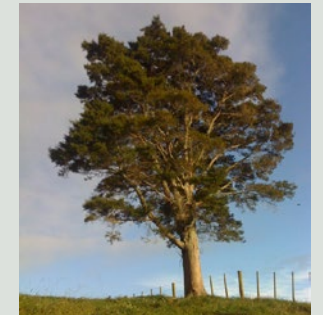
Woody weeds such as privet, blackberry hawthorn and pampas should be controlled throughout the site.

All large stature trees outside of the curtilage area should be rural character trees which are typical of the surrounding environment. Examples include poplars, willows, oaks and eucalyptus.

Planting species

Appropriate indigenous planting includes:

- ◆ Totara - *Podocarpus totara*
- ◆ Kanuka - *Kunzea ericoides*
- ◆ Karamu - *Coprosma robusta*
- ◆ Cabbage tree - *Cordyline australis*
- ◆ Flax - *Phormium tenax*
- ◆ Putaputaweta - *Carpodetus serratus*
- ◆ Matipo - *Myrsine australis*
- ◆ Mahoe - *Melicytus ramiflorus*
- ◆ Kahikatea - *Dacrycarpus dacrydiodes*
- ◆ Totara - *Podocarpus totara*
- ◆ Punga - *Cyathea* sp. or *Dicksonai fibrosa*
- ◆ Wetlands
- ◆ *Baumea rubiginosa*
- ◆ Raupo - *Typha orientalis*
- ◆ *Carex secta*
- ◆ *Carex virgata*
- ◆ *Carex lessoniana*



Building Form

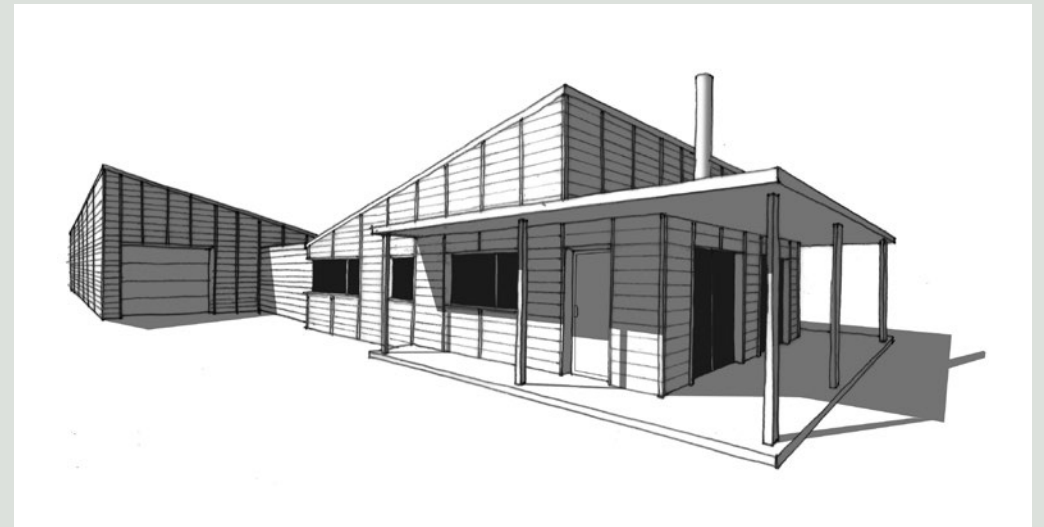
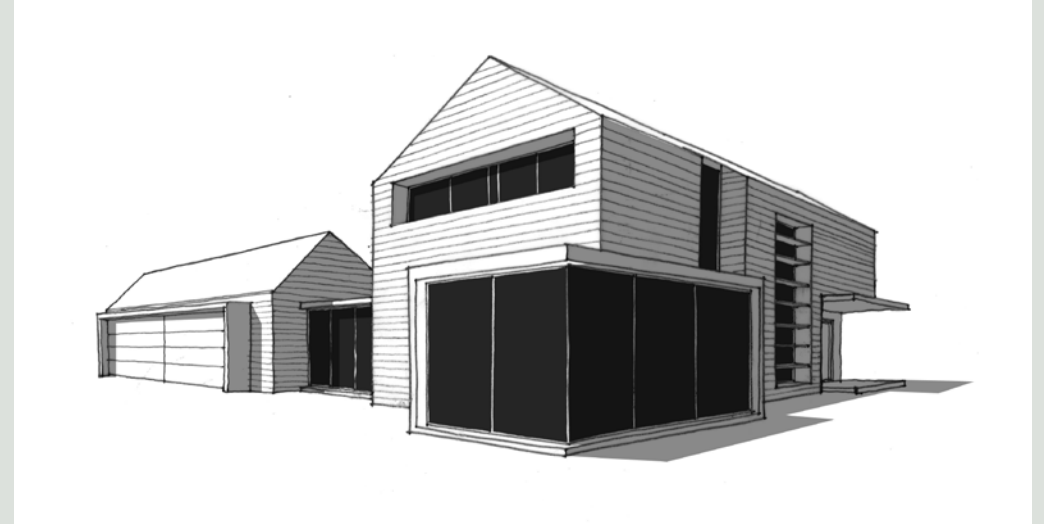
Building design

The objective of the following building design controls is to create a built environment which is attractive, cohesive and complementary to the landscape's rural and natural character. These controls seek to ensure the architectural character is not overly complex as to draw attention to the scale or form of buildings. Simple architectural forms can still display individual creativity in terms of design especially relevant to details and combination of materials.

The site's topography offers a variety of locations which have different values, some being located within the lower valley while others are located on the upper ridges.

These design control provide different controls which respond to each building platform location. The following controls are applicable to all lots within Palliser Downs. A # will indicate where properties within the rural lowlands are excluded.

Typical,
appropriate
building forms



Building Forms

All buildings should generally be of a simple form, being square or rectangles without a complex series of dominant corners or roof types.

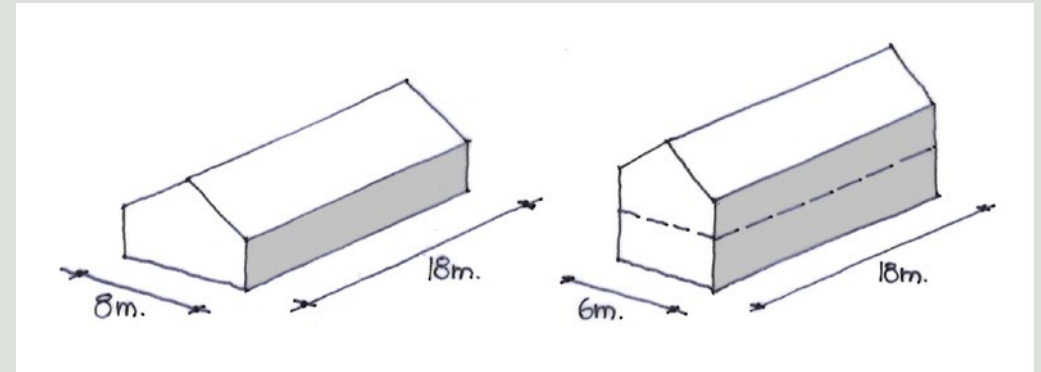
'Pop outs' and 'lean tos' and other architectural details which do not detract from the main form of the building are appropriate. These should have a maximum width of 7m.

Rounded walls are appropriate either as a connection between main buildings or as a feature wall on only one elevation of the building.

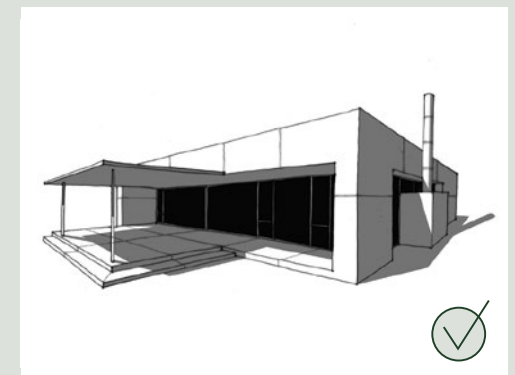
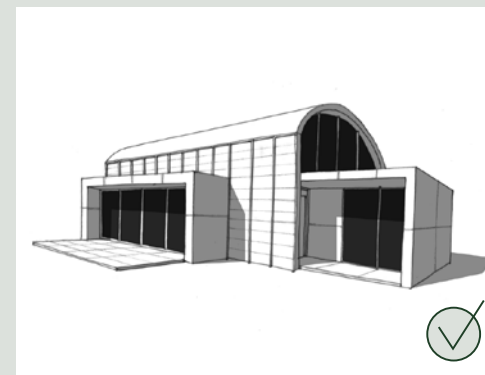
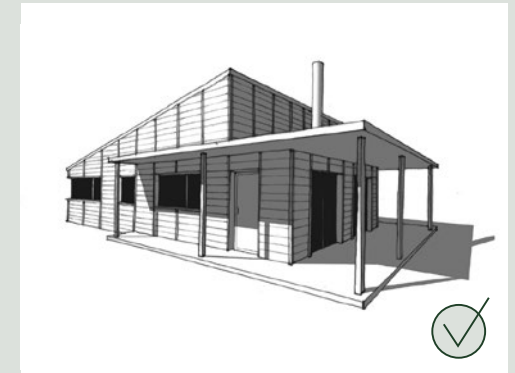
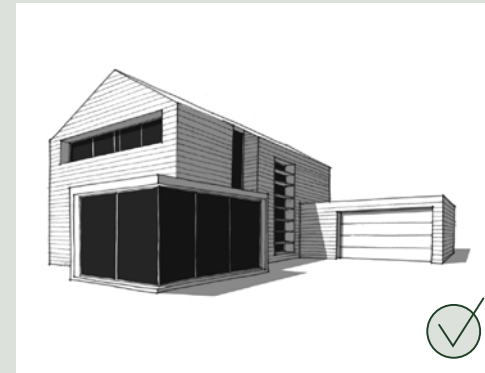
The maximum width of the narrowest portion of any single story building roof form should generally be 8m and 6m for any two story buildings.

The maximum width of the longest portion of any building should generally be 18m.

Appropriate
building
proportions



Appropriate
building forms



Roof Forms

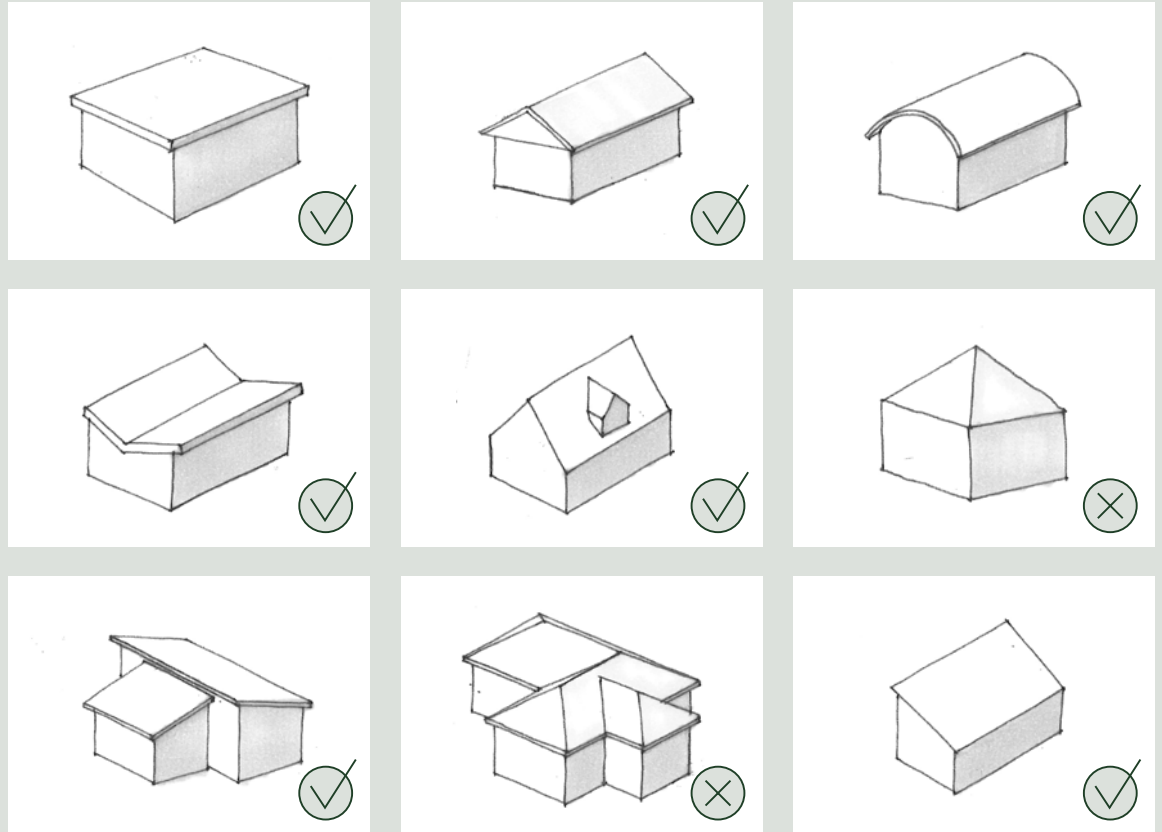
Gabled, barrel vault or monopitch roof forms and an appropriate mix of these are the only forms allowed for main dwellings and ancillary buildings.

All gable forms should have a minimum pitch of 27.5 degrees and a maximum roof pitch of 45 degrees.

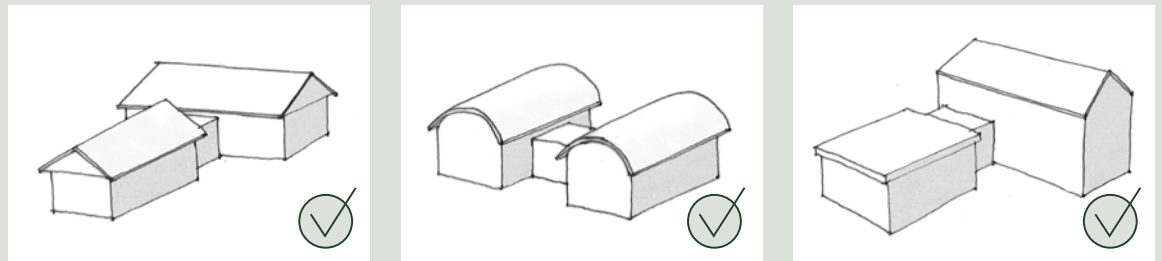
Variations of monopitch such as butterfly roof forms are acceptable.

Variations of gables, such as a salt box roof form are acceptable.

Standard
roof forms



Roof form
and links



Decks, verandas, porches and balconies

No deck, porch, veranda or similar exterior built surface which is part of the buildings but not part of the surrounding natural ground should generally extend beyond 7m from any building.

The above guideline is not applicable to surfaces at ground levels such as patios.

No balcony should extend more than 0.5 metres from the face of any building surface. This is to encourage interior balconies which do not detract from the simple forms of the buildings.

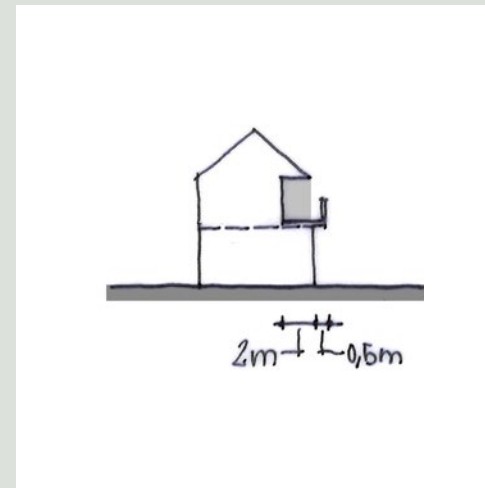
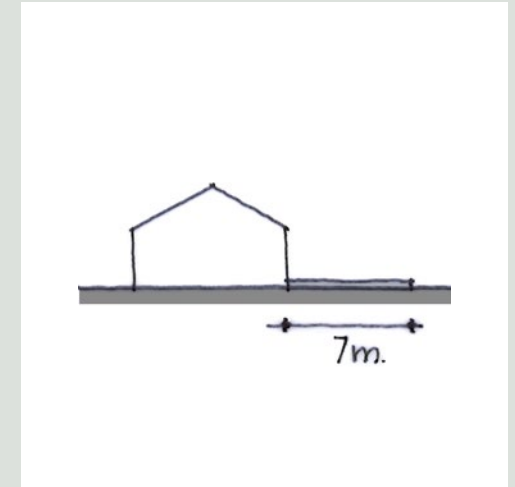
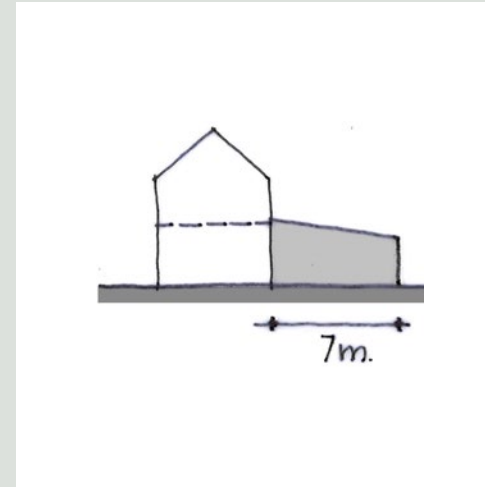
Windows glazing and doors

All windows which do not run from floor to ceiling should be recessed.

No elevation should be more than 45 percent glass.

All joinery should be either timber or coloured to match the roof or cladding material.

Typical,
appropriate
building details



External materials

WALL MATERIALS

The exterior wall materials should be limited to two materials. Acceptable wall cladding materials included:

- ◆ Natural stone
- ◆ Brick or poured earth
- ◆ Colorsteel or similar (not more than 30 percent of any primary building, excluding accessory buildings)#.
- ◆ Board form concrete
- ◆ Steel tray
- ◆ Timber board and batten
- ◆ Timber weatherboard or an alternative material that mimics timber weatherboard.

The following materials is also acceptable in the rural lowlands area:

- ◆ Rendered plaster in a natural colour.
- ◆ There are no restriction on the use of Coloursteel or similar for any primary building providing it adheres to the following colour controls.

ROOF MATERIALS

Acceptable roofing material include:

- ◆ Coloursteel, zinc tray or similar,
- ◆ Vegetated / grassed,
- ◆ Cedar Shakes (or similar),
- ◆ Membrane (if monopitch),
- ◆ Pressed metal tiles.
- ◆ Asphalt shingles

External colours and finishes

All exterior colours and finishes should have an LRV of less than 36 percent, Except:

- ◆ Where an appropriate rural character colour such as scoria or lichen is used.
- ◆ No more than four colours will be appropriate for all roofs, joinery, and walls or other exterior surfaces of any primary buildings.
- ◆ No more than two colours is appropriate for any accessory building.

Where the Palliser Downs Design Review Board has provided its express consent for an exterior colour or finish with an LRV of more than 36 percent, which may be granted in its sole discretion (such consent would not constitute consent on behalf of Auckland Council, which would need to be obtained separately pursuant to its own requirements).

ROOFS

Roof colours should have an LRV of less than 27 percent.

Note: A change in wall cladding material or colour should only occur at an interior corner.

